Karuk Community Health Clinic

64236 Second Avenue Post Office Box 316 Happy Camp, CA 96039 Phone: (530) 493-5257 Fax: (530) 493-5270



Administrative Office

Phone: (530) 493-1600 • Fax: (530) 493-5322 64236 Second Avenue • Post Office Box 1016 • Happy Camp, CA 96039

Karuk Dental Clinic

64236 Second Avenue Post Office Box 1016 Happy Camp, CA 96039 Phone: (530) 493-2201

Fax: (530) 493-5364

Request for Proposals

21-RFP-010

For More Information: Contact – Ryan Hammer (530) 598-8249 Email: rhammer@karuk.us **Recommended Site Visit:** Contact Ryan Hammer to schedule **Proposal Deadline:** February 5th, 2021 no later than 5:00 p.m. (PST)

The Karuk Tribe requests proposals for the following Scope of Work required for the design of additional space for the Anaykaam Center located at 64236 Second Ave. Happy Camp, Ca 96039. A preliminary design will be available to potential bidders for review and bidding purposes. The design of this project will include the renovation and addition specifications for the existing 3,200sqft structure as well as the 2,200sqft (approx.) of proposed additional office, training and restroom space located on the West side of the existing facility. The proposed addition will require a redesign of the surrounding parking lot, to maximize available parking and handicap accessibility, as well as a new outdoor pavilion/common area between the proposed addition and the existing Medical Billing modular. Selected Contractor will be responsible for printed and digital copies of 60%, 90% and 100% design documents, including all specifications, schematics, schedules, cost estimates and pay application reviews necessary for the construction phase of this project. Designs will follow all Fire codes and ADA requirements as well as Federal building codes, as this project is located on Tribal land.

Task One - Renovation Design

The basic design of the renovation is outlined in the preliminary drawings. This concept is specific to our vision of the finished product, but can change in the interest of efficiency and/or cost savings with Owner approval. The finishes, fixtures and equipment schedules will be approved by Tribal Representative(s).

Task Two - Addition Design

The basic design of the additional space, to be added to the existing structure, is outlined in the preliminary drawings. This concept is specific to our vision of the finished product, but can change in the interest of efficiency and/or cost savings during the design phase with Owner approval. The finishes, fixtures and equipment schedules will be approved by Tribal Representative(s). Sound dampening material will be used in the walls that separate the existing facility from the addition.

Task Three - Parking lot and Outdoor pavilion design

The basic design of the renovation is outlined in the preliminary drawings. This concept is specific to our vision of the finished product, but can change in the interest of efficiency and/or cost savings with Owner approval. The finishes, fixtures and equipment schedules will be approved by Tribal Representative(s). The Civil portion of the design will include grade elevations with drainage, fencing and underground utility connections.

Responses to this Request for Proposals should include the following:

- 1) A statement of qualifications, including relevant project history.
- 2) A proposed approach and rational for completion of the contract tasks described above, including descriptions of similar work previously completed and the results/benefits achieved.
- A lump sum price, with attached price break-down page.
- 4) Names and telephone numbers of three client references.

Responses must be hand, mail, or email delivered by Friday February 5^{th} , 2021 no later than 5:00 p.m. (PST) to:

Emma Lee Perez, Contract Compliance Specialist Karuk Tribe – Administration Office 64236 Second Avenue P.O. Box 1016 Happy Camp, CA 96039 Faxes will not be accepted Emails will be accepted at: emmaleeperez@karuk.us

Price Page for 21-RFP-010:	
Proposal Submitted by:	
Name:	Phone Number:
E-mail:	Fax Number:
Amount requested to be compens	sated for each task:
• Task:	
• Task:	
• Task:	
List previous experience:	
List up to three references with p	phone numbers below:
1)	
Other Comments:	

Indian Preference will apply in the selection process in accordance with the Indian Preference Act of 1934 (Title 25, USC, Section 47) and/or the Tribal Employment Rights Ordinance (TERO), based on funding source requirements.

All contracts that exceed \$2,500.00 shall be subject to a two percent (2%) Tribal Employment Rights Fee in accordance with the TERO Ordinance.

If applicable, construction contracts in excess of \$2,000, when required by Federal grant program legislation, are subject to compliance with the Davis-Bacon Act (40 USC 276a to a-7) as supplemented by Department of Labor regulations (29 CFR part 5).

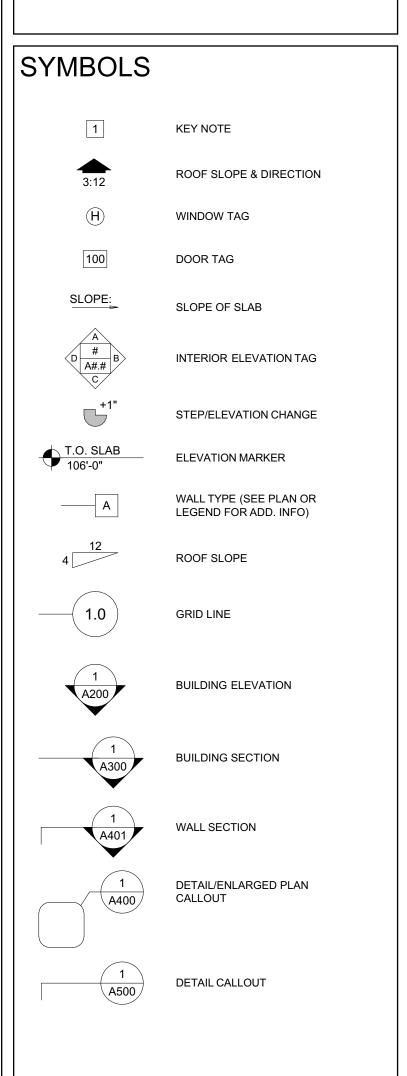
PROPOSED RENOVATION AND ADDITION FOR:

KARUKTRIBE "OLD GYM" BUILDING

64236 SECOND AVE HAPPY CAMP, CA 96039

PROJECT NUMBER: 19-3410

PROJECT TEAM ARCHITECT: STRUCTURAL ENGIN CONSULTANT: PLUMBING DESIGNE HVAC ENGINEER: ELECTRICAL ENGINEER: N/A



PROJECT DATA

_		1 1	1 1		
	THE KARUK TRIBE 64236 SECOND AVE			1.	THE CONTRACTOR PLANS AT THE JOB
	HAPPY CAMP, CA 96039			2.	A PRE-CONSTRUCT
	C&S DESIGN & ENGINEERING, INC.			3.	ALL WORK IS TO BE STATE BUILDING, P
	2023 6th STREET WEST ASHLAND, WI 54806				CURRENTLY IN EFF
	P: 715-682-0330			4.	ALL STATE AND LOG BY THE OWNER AN
SINEER				5.	CONTRACTOR, U.N THE GENERAL CON
				J.	ALL CONTRACT DO
					CONFIRMING THAT PROCEEDING WITH
	N/A				QUESTIONS REGAL
					QUESTIONS, THE O
					PROCEEDING WITH WORK.
NER:	N/A			6.	THE OWNER SHALL
					DESIGN PROFESSION WHATSOEVER ARIS
					FROM, THE CONTR
	N/A	$ \ $		_	INTENT OF THE CO
		1	1 1	7.	THE WORK UNDER

GENERAL NOTES ORS ARE TO KEEP A SET OF STATE APPROVED AD100 CTION CONFERENCE WILL BE HELD WITH THE

BEFORE ANY WORK COMMENCES. BE PERFORMED IN ACCORDANCE WITH THE , PLUMBING, ELECTRICAL, AND HVAC CODE

LOCAL BUILDING PERMITS WILL BE OBTAINED AND MUST BE POSTED AT THE JOB SITE BY THE ONTRACTOR IS RESPONSIBLE FOR CHECKING DOCUMENTS FOR THEIR ACCURACY AND ITH CONSTRUCTION. IF THERE ARE ANY

SARDING THESE, OR OTHER COORDINATION CONTRACTOR IS RESPONSIBLE FOR RIFICATION FROM THE ARCHITECT BEFORE ITH THE WORK IN QUESTION OR RELATED SSIONAL FROM ANY CLAIM OR SUIT RISING FROM, OR ALLEGED TO HAVE ARISEN

TRACTOR'S PERFORMANCE OR THE FAILURE CTOR'S WORK TO CONFORM TO THE DESIGN CONTRACT DOCUMENTS. MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT

MATERIAL S/FINISHES/FTC PER ARCHITECTURAL DRAWINGS OF SPECIFICATION. SUBSTITUTIONS OF EQUAL QUALITY AND PROFESSIONAL IN CHARGE ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER

LOCAL CODES AND REQUIREMENTS, LOCATED PER PLAN

THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, SEQUENCE OR

SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.

THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES

LOCATIONS SUCH AS WATER, SEWER, AND GAS. ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION

ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY

OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL

SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS. THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK; JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT MATERIALS APPROPRIATELY LEVEL. PLUMB AND AT ACCURATE OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE

CONTRACT DOCUMENTS ARE MORE STRINGENT. 20. ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY

DESIGNER OF ANY DISCREPANCIES. 22. ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS,

23. SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN. 24. SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH

SCHEDULE FOR MATERIALS NOT CALLED OUT. 25. IF APPLICABLE, THE FIRE RATING OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST

THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND

THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATAAND ALL MANUFACTURER'S, INSTALLER'S AND APPLICATOR'S GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.

8. CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE REMOVABLE SCREENS.

29. CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO

30. REFERENCE ELEVATIONS AND/OR BUILDING SECTIONS FOR WINDOW OPERATIONS. 31. REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS

TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES. 32. ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54-2015, NATIONAL FUEL GAS CODE.

INDEX TO DRAWINGS

TITLE SHEET

AS-BUILT FLOOR PLAN AS-BUILT ELEVATIONS C100 NEW SITE PLAN NEW FLOOR PLAN

NEW ELEVATIONS NEW ELEVATIONS NEW CROSS SECTION

Z O BUIL CAM.

"OLD

TRIBE

KARUK

& ERING ES N

A.D.E.

AS NOTED JANUARY 2020

19-3410





STANDARD ABBREVIATIONS

CONTROL JOINT

CUBIC FOOT(AGE)

COURSES

DIAMETER

DIMENSION

DISPENSER

DOWNSPOUT

DRAWING (S) DRINKING FOUNTAIN

ELECTRICAL

ELEVATOR

EXHAUST

EXPANSION

EXPANSION JOINT EXPOSED

EQUAL EQUIPMENT

ENCLOSURE

ABOVE FINISH FLOOR ACOUSTICAL CEILING TILE ADDITIONAL ADJUSTABLE ALIGN WITH BELOW ALTERNATE ALUMINUM AMERICAN DISABILITIES ACT APPROXIMATELY	ADD. ADJ. A.W.B. ALT.
BASEMENT BEAM BELOW BITUMINOUS BLOCK BLOCKING BOARD BOTTOM BOTTOM OF BRICK COURSE BUILDING BUILT-UP ROOFING	BSMT. BM. BELW. BIT. BLK. BLKG. BD. BOT. B.O. B.C. BLDG. B.U.R.
CARPET CAST-IN-PLACE CAST IRON CATCH BASIN CEILING CEMENT CENTER LINE CERAMIC TILE CLEARANCE CLOSET COLUMN CONCRETE MASONRY UNIT	CPT. C.I.P. C.B. CLG. CEM. CL C.T. CLR. CLO. COU.

CONTR. C.J. CRS. CF	
DET. DIA. DIM. DISP DR DN. DS. DWG. (S)	
EA. ELEC. ELEV. EL. ENCL. EQ. EQUIP. EXH. EXIST. EXP. E.J. EXP. EXT.	
F.O. F.O.C. F.O.F. F.O.M. FT. FIN.	

CONTR.	FIRE EXTINGUISHER	F.E.
C.J.	FIRE EXTINGUISHER CABINET	F.E.C.
CRS.	FIRE RATED	FR.
CF	FIXTURE	FIX.
	FLASHING	FLASH'G
DET.	FLOOR	FLR.
DIA.	FLOORING	FLR'G
DIM.	FLOOR PLAN	F.P.
DISP	FOOTING	FTG.
DR	FOUNDATION	FDNT.
DN.	FLUORESCENT	FLUOR
DS.		04114
DWG. (S)	GALVANIZED	GALV.
D.F.	GAUGE GENERAL CONTRACTOR	GA. G.C.
FA.	GLASS	G.C. GL.
ELEC.	GYPSUM	GL. GYP.
ELEV.	GYPSUM WALLBOARD	GWB.
EL.	OTT GOW WALLBOARD	OVID.
ENCL.	HANDICAP ACCESSIBLE	H.C.
EQ.	HARDWARE	HDW.
EQUIP.	HEATER	HTR.
EXH.	HEATING, VENTING, AND	HVAC
EXIST.	AIR CONDITIONING	
EXP.	HEIGHT	HGT.
E.J.	HIGH POINT	H.P.
EXP.	HOLLOW CORE	H.C.
EXT.	HOLLOW METAL	H.M.
г О	HORIZONTAL	HORIZ.
F.O. F.O.C.	HOUR	HR.
F.O.C. F.O.F.	INCANDESCENT	INCAN.
F.O.F. F.O.M.	INCH	INCAN. IN.
FT.	INCLUDING	INCI
FIN.		

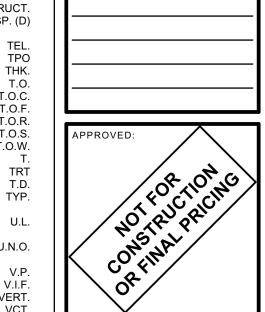
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OUTSIDE DIAMETER

	JAN.	OVERFLOW DRAIN
	JT. JST	PAINT
	J31	PAINTED
	LAM.	PANEL
	LAV.	PARTITION
	LVL.	PERFORATED
	LTG.	PLASTIC LAMINATE
	LN.	PLATE
	LINO.	POLYVINYL CHLORIDE
IORIZONTAL	LLH	POUNDS PER SQUARE INC
ERTICAL	LLV	PRESERVATIVE TREATED
	L.P.	PROPERTY
JRER	MFR.	QUANTITY
	MAS.	QUARRY TILE
PENING	M.O.	
	MAT.	RADIUS
	MAX.	REINFORCING
.L	MECH.	REQUIRED
	MEMB.	RESILIENT FLOORING
	MTL.	RETURN AIR
	MIN.	REVISION
EOUS	MISC.	RISER
IOTIDI E	MTD.	ROOF DRAIN
JSTIBLE	NC.	ROOM
ABLE	N.A.	ROUGH OPENING
TRACT LE	N.I.C. N.T.S.	RUBBER
NLE.	N.1.5. NO.	SECTION
	NO.	SHEET
OCCUPANCY	OCC.	SIMILAR
OCCOI ANOT	O.C.	SOLID CORE
	OPNG.	SPECIFICATIONS
	OPP.	SQUARE
IAND	O.H.	SQUARE FOOT(AGE)
		1

OVERFLOW DRAIN	O.F.D.	STEEL STORAGE STREET STRUCTURAL SUSPEND (ED)	STL.
PAINT	PT.	CTDEET	STOK.
PAINTED	PTD.	STREET	STELLET
PANEL	PNL.	STRUCTURAL	SIRUCI.
PARTITION	PTN.	303PEND (ED)	303F. (D)
PERFORATED	PERF.	TELEPHONE	TEL.
PLASTIC LAMINATE	PLAM.	THERMOPLASTIC POLYOLEFIN	TPO
PLATE	PL.	THICKNESS	THK.
POLYVINYL CHLORIDE	PVC	TOP OF	T.O.
POUNDS PER SQUARE INCH	PSI	TOP OF CONCRETE	T.O.C.
PRESERVATIVE TREATED	P.T.	TOP OF FOOTING	T.O.F.
PROPERTY	PROP.	TOP OF RAIL	T.O.R.
THOI EITH	TITOT.	TOP OF STEEL	T.O.S.
QUANTITY	QTY.	TOP OF WALL	T.O.W.
QUARRY TILE	Q.T.	TREAD	Т.
		TREATED	TRT
RADIUS	R.	TRENCH DRAIN	T.D.
REINFORCING	REINF.	TYPICAL	TYP.
REQUIRED	REQ'D.		
RESILIENT FLOORING	RSL.	UNDERWRITERS	U.L.
RETURN AIR	R.A.	LABORATORIES	
REVISION	REV.	UNLESS NOTED OTHERWISE	U.N.O.
RISER	R.		
ROOF DRAIN	R.D.	VENEER PLASTER VERIFY IN FIELD VERTICAL	V.P.
ROOM	RM.	VERIFY IN FIELD	V.I.F.
ROUGH OPENING	R.O.	-	VERT.
RUBBER	RUBR.	VINYL COMPOSITION TILE	VCT.
		VINYL WALL COVERING	VWC.
SECTION	SEC.		
SHEET	SHT.	WATER CLOSET	W.C.
SIMILAR	SIM.	WATERPROOFING	W.P.
SOLID CORE	S.C.	WELDED WIRE FABRIC	W.W.F.
SPECIFICATIONS	SPEC.	WIDE FLANGE	W.F.
SQUARE	SQ.	WINDOW	WDW.
SQUARE FOOT(AGE)	SF	WITH	W/

STD. WOOD



CLG. CEM. FACE OF COL. CONC. CMU FEET FINISH CONSTRUCTION CONST. FINISH GRADE

CONT.

EXTERIOR FACE OF CONCRETE FACE OF MASONRY FINISH FLOOR ELEVATION

F.F.E. INSULATION INTERIOR

HDW. HTR. HVAC HORIZ. INCAN.

STAINLESS STEEL

V.I.F. VERT. VCT. VWC. W.P. V.W.F. W.F. WDW. W/ W/O WD.



AS-BUILT FLOOR PLAN

SCALE: 1/4" = 1'-0"

BUILDING "OLD TRIBE

KARUK

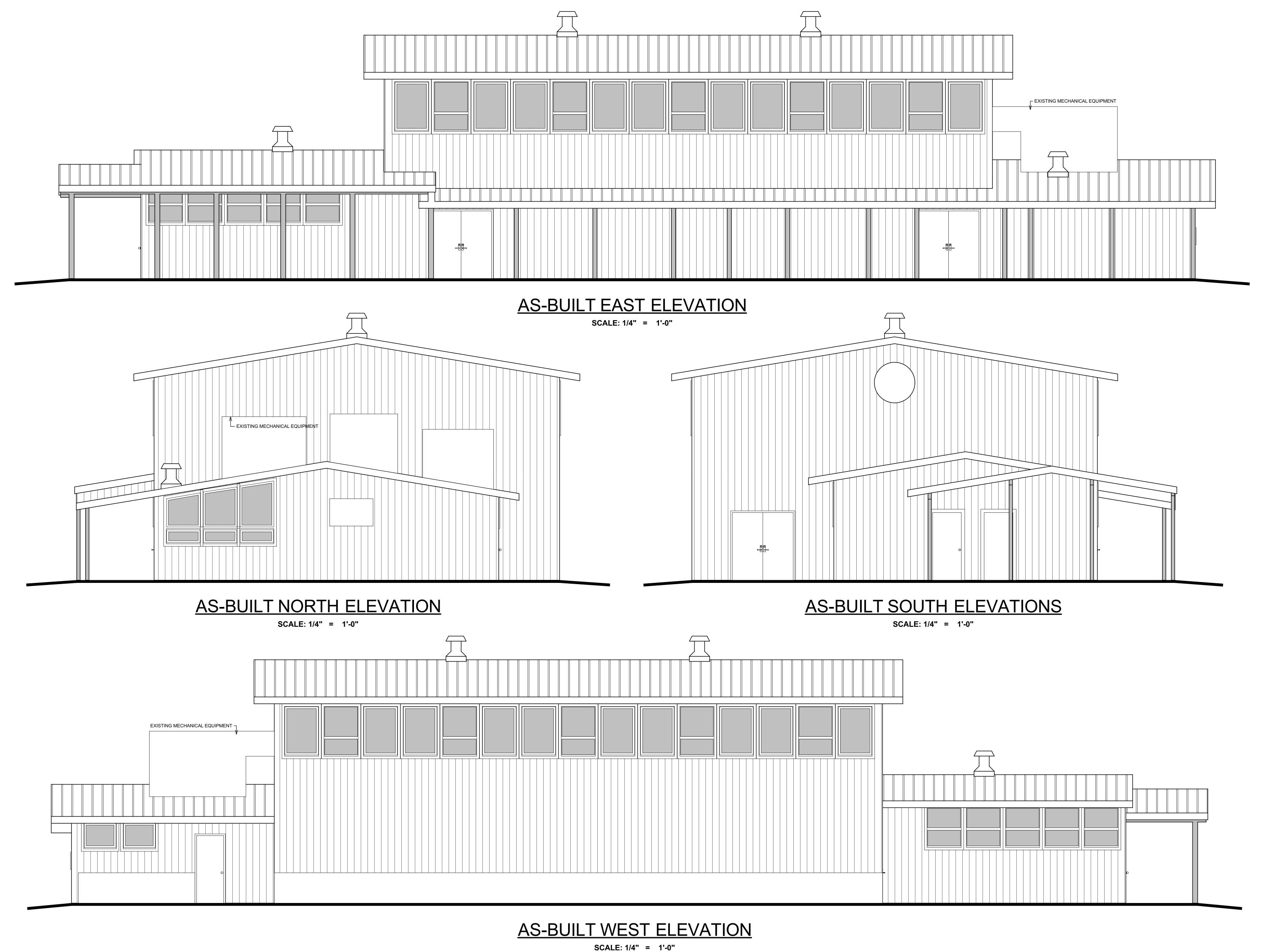
DESIGN & ENGINEERING with framework design inc

A.D.E. **AS NOTED** JANUARY 2020

19-3410



AD100



BUILDING

TRIBE KARUK

DESIGN ENGINEE with framework

L.D. A.D.E. **AS NOTED**

JANUARY 2020

19-3410

AD101

NEW SITE PLAN

SCALE: 1" = 10'

LD GYM" BUILDING
E, HAPPY CAMP, CA 96039
ITE PLAN

64236 SECOND AVE, HAPPY CAMP, CA 96(

KARUK

ENGINEERING
with framework design inc
Street West, Ashland, WI 54806

L.D.

AWN:

A.D.E.

AS NOTED

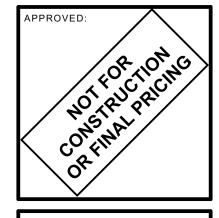
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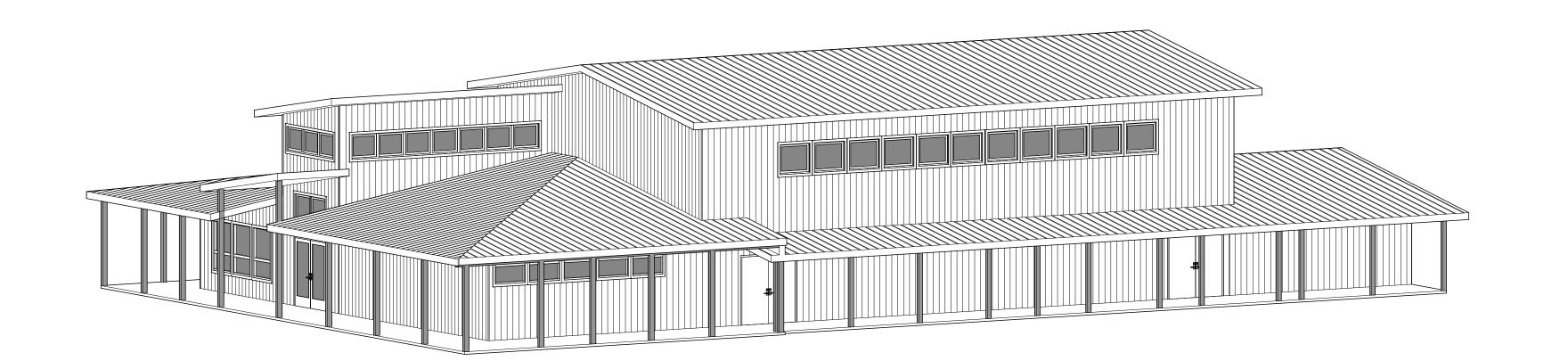
C100

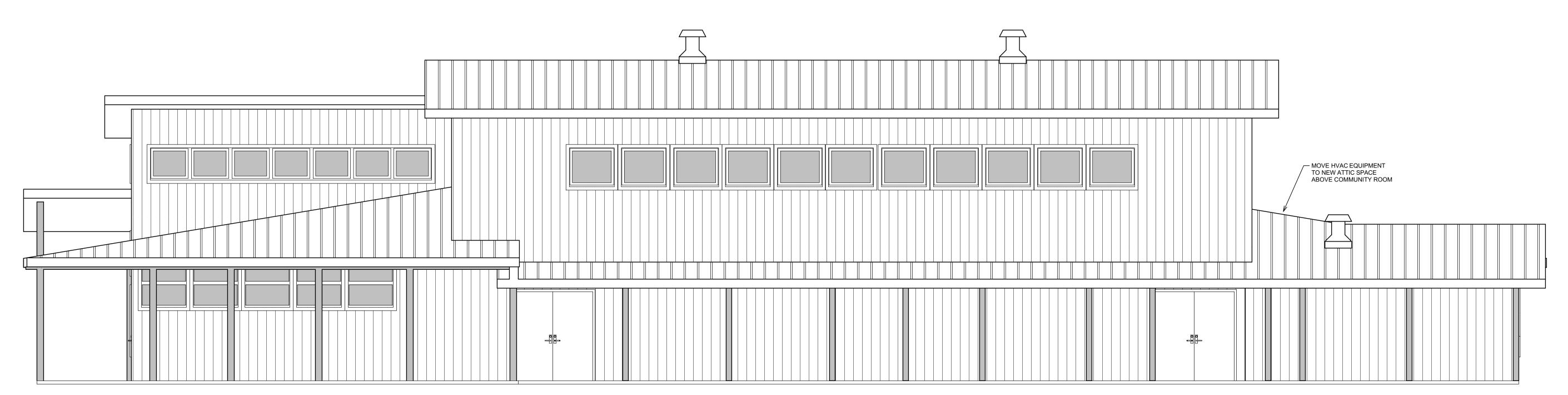


19-3410

NEW SOUTH ELEVATION

SCALE: 1/4" = 1'-0"





NEW EAST ELEVATION

BUILDING

TRIBE

"OLD

KARUK

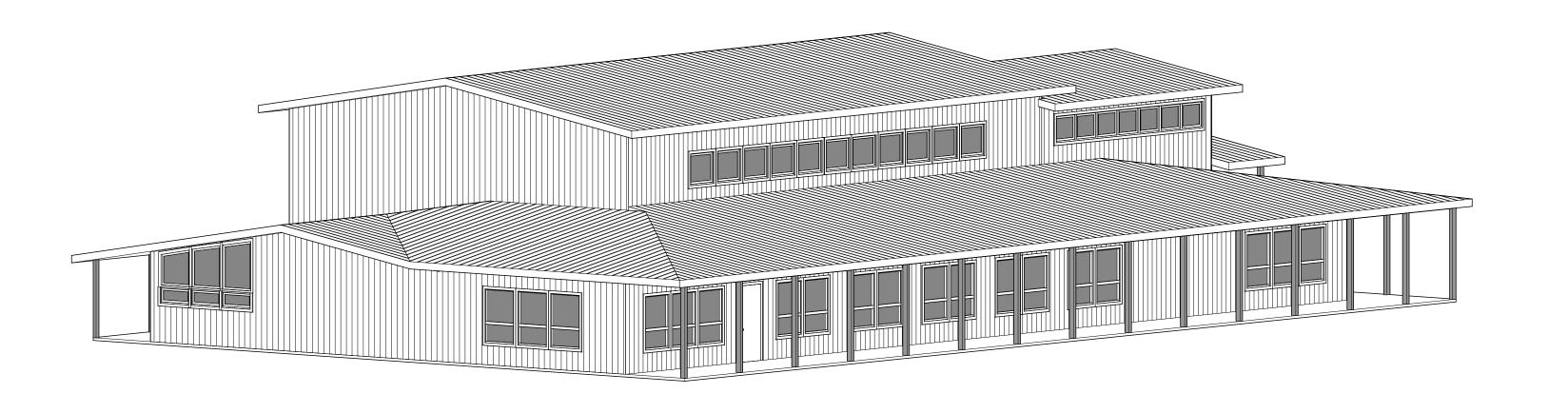
DESIGN & ENGINEERING with framework design inc

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NEW NORTH ELEVATION

SCALE: 1/4" = 1'-0"





NEW WEST ELEVATION

BUILDING

TRIBE

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DESIGN & ENGINEERING with framework design inc

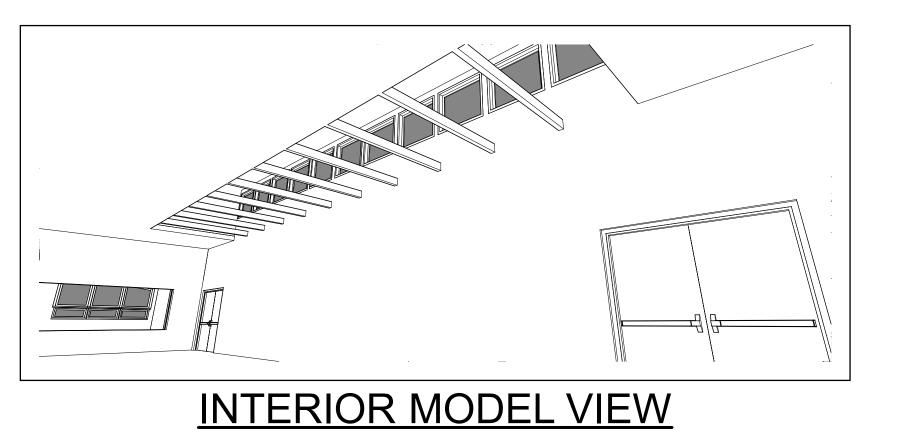
A.D.E. **AS NOTED** JANUARY 2020

19-3410

REVISIONS:

NEW CROSS SECTION

SCALE: 1/4" = 1'-0"



TRIBE "OLD GYM" BUILDING
64236 SECOND AVE, HAPPY CAMP, CA 96039

KARUK

DESIGN &

ENGINEERING

with framework design inc

Street West, Ashland, WI 54806
le (715) 682-0330 www.csdesignengineering.com

L.D.

WN:
A.D.E.

LE:
AS NOTED

JANUARY 2020

19-3410

REVISIONS:

PPROVED:

